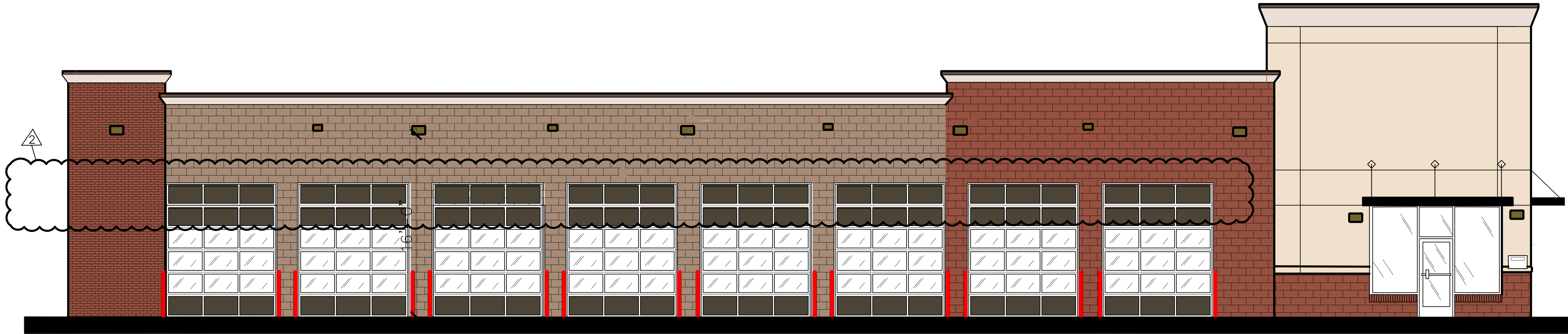


BRAKES PLUS

JENKS, OKLAHOMA



GENERAL NOTES

- WE CERTIFY THAT TO THE BEST OF OUR KNOWLEDGE AND INFORMATION, AND IN ACCORDANCE WITH ACCEPTED PROFESSIONAL STANDARDS, WE HAVE COMPLIED WITH APPLICABLE PORTIONS OF ANSI A117.1 1980 EDITION PERTAINING TO BUILDING ACCESSIBILITY FOR THE PHYSICALLY HANDICAPPED (ARSS4-401 THROUGH 34-411), UBC CHAPTER STANDARDS (UFAS) AND 1990 AMERICANS WITH DISABILITIES ACT (ADA) TITLE III ACCESSIBILITY GUIDELINES FOR BUILDING AND FACILITIES.
- ALL DIMENSIONS ARE TO THE FACE OF STUD AT FRAME WALLS AND TO THE FACE OF MASONRY WALLS AS SHOWN, UNLESS NOTED OTHERWISE.
- INSTALL SEALANT AT ALL INTERIOR AND EXTERIOR JOINTS, SEAMS, CONNECTIONS OF OPENINGS WHICH WOULD ALLOW WATER OR AIR INFILTRATION EXCEPT AS NOTED OTHERWISE. SEALANT COLOR TO MATCH ADJACENT SURFACE. COLOR REQUIRES ARCHITECT'S APPROVAL.
- DOOR OPENINGS IN FRAME CONSTRUCTION WHICH ARE NOT DIMENSIONED ARE EITHER CENTERED IN THE WALL OR LOCATED 5" FROM THE FACE OF STUD TO FINISH JAMB
- ALL HANDICAPPED FACILITIES SHALL BE IDENTIFIED WITH APPROVED SINAGE.
- THE CONTRACTOR IS RESPONSIBLE FOR PRODUCING A WEATHER TIGHT BUILDING - - DETAILS AND OMISSIONS TO DRAWINGS NOTWITHSTANDING. ALL DRAWING CONFLICTS WHICH MAY NOT ALLOW THIS ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF TH ARCHITECT.
- DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND PLANS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
- ALL FLOORS WITH DRAINS ARE SLOPED MINIMUM $\frac{1}{4}"$ PER FOOT TO DRAIN UNLESS NOTED OTHERWISE.
- LOCATION OF EXISTING UTILITIES ARE SHOWN TO THE BEST OF OUR KNOWLEDGE. CONTRACTOR SHALL HAVE THE RESPONSIBILITY OF VERIFYING IN THE FIELD BEFORE CONSTRUCTION STARTS, AND COORDINATING ALL NEW UTILITY LOCATIONS, CONNECTIONS, AND PENETRATIONS W/ CIVIL ENGINEER.
- ALL REQUIRED EXITS SHALL BE OPERABLE FROM THE INSIDE WITHOUT SPECIAL KNOWLEDGE OF THE USE OF A KEY.
- PROVIDE FULL 2X6 WOOD BLOCKING AS REQUIRED TO SECURELY ANCHOR ALL WALL MOUNTED EQUIPMENT(E.G., CABINETS, TOILET ROOM, ACCESSORIES, HARDWARE, ETC.) BLOCKING SHALL PROVIDED A RIGID CONNECTION CAPABLE OF SUPPORTING LOADS AS DETERMINED BY MANUFACTURER. PROVIDE SOLID 2X6 WOOD BLOCKING SECURED TO 2 MAIN WALL STUDS TO SECURELY SUPPORT ALL WALL STOPS (DOOR BUMPER).
- THE GENERAL CONTRACTOR SHALL VERIFY AND COORDINATE WITH ALL TRADES, SIZES AND LOCATIONS OF ALL OPENINGS OF MECHANICAL AND ELECTRICAL EQUIPMENT, EQUIPMENT PADS, AS WELL AS POWER, WATER, AND DRAIN INSTALLATIONS, BEFORE PROCEEDING WITH WORK, ANY CONCERNS OF STRUCTURAL CONFLICTS, SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. A REASONABLE RESPONSE TIME SHALL BE ALLOWED.
- ALL FLOOR OR WALL OPENINGS REQUIRED FOR PIPES, DUCTS,CONDUITS, ETC. SHALL BE SEALED IN A MANNER APPROVED BY THE ARCHITECT.
- ROOMS ENCLOSED WITH 1-HOUR RATED WALLS REQUIRE RATED DOORS, 1-HOUR PARTITIONS PENETRATING THROUGH AND ABOVE ROOF SURFACE AND STRUCTURE ABOVE. ANY DUCTS PASSING THROUGH WALLS REQUIRE FIRE DAMPERS. ANY CONDUIT OF PIPING REQUIRES RATED SEALANT.
- STRUCTURAL NOTES SHALL GOVERN TYPICAL CONDITIONS WHETHER OR NOT SPECIFICALLY DETAILED OR NOTED.
- CONTROL JOINTS SHALL BE PROVIDED IN CONCRETE FLOOR SLABS AND MASONRY WALLS WHETHER OF NOT SPECIFICALLY REFERENCED ON PLANS. THE MAXIMUM AREA PERMITTED BETWEEN JOINTS SHALL BE 650 SQUARE FEET FOR REINFORCED CONCRETE SLABS, 250 SQUARE FEET FOR NON-REINFORCED SLABS AND 400 SQUARE FEET FOR MASONRY UNLESS SHOWN OTHERWISE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY ELECTRIC CONNECTIONS, METERS, TRANSFORMERS AND GENERATORS.
- IT IS THE CONTRACTORS RESPONSIBILITY TO LOCATE ELECTRICAL RECEPTACLES AND SWITCHES TO AVOID CASEWORK, DOORS, ETC.
- FOLLOW ALL RECOMMENDATIONS OF THE SOILS REPORT BY OLSSON, 719-338-7589, PROJECT #025-07660 DATED MARCH 2026 .

PROJECT TEAM

OWNER:	BRAKES PLUS 1880 SOUTPARK DRIVE BIRMINGHAM, AL. 35244 205-533-1724 ASHLEY BERNATSKI@EXPRESSOIL.COM ATTN: ASHLEY BERNATSKI
ARCHITECT:	NORMAN L. HERMAN 45 SPYGLASS DRIVE LITTLETON, COLORADO 80123 (303) 881-8925 ATTN: NORMHERMAN@ARCODEV.COM
STRUCTURAL ENGINEER:	PERFORMANCE ENGINEERING 7400 EAST ORCHARD ROAD, # 240 ENGLEWOOD, COLORADO 80111 (303)721-3322 ATTN: TOM SCHOTT
MECHANICAL ENGINEER	LOREN PRIEST 12005 ANTELOPE TRAIL, PARKER, COLORADO 80138 (303)748-1189 ATTN: LOREN@EERPARKER.COM
ELECTRICAL ENGINEER	LOREN PRIEST 12005 ANTELOPE TRAIL, PARKER, COLORADO 80138 (303)748-1189 ATTN: LOREN@EERPARKER.COM
CIVIL ENGINEER	OLSSON 5700 TENNISON PARKWAY SUITE 100 PLANO, TEXAS 75024 ATTN: MADDIE KNECHT 214-473-2698 MKNECHT@OLSSON.COM

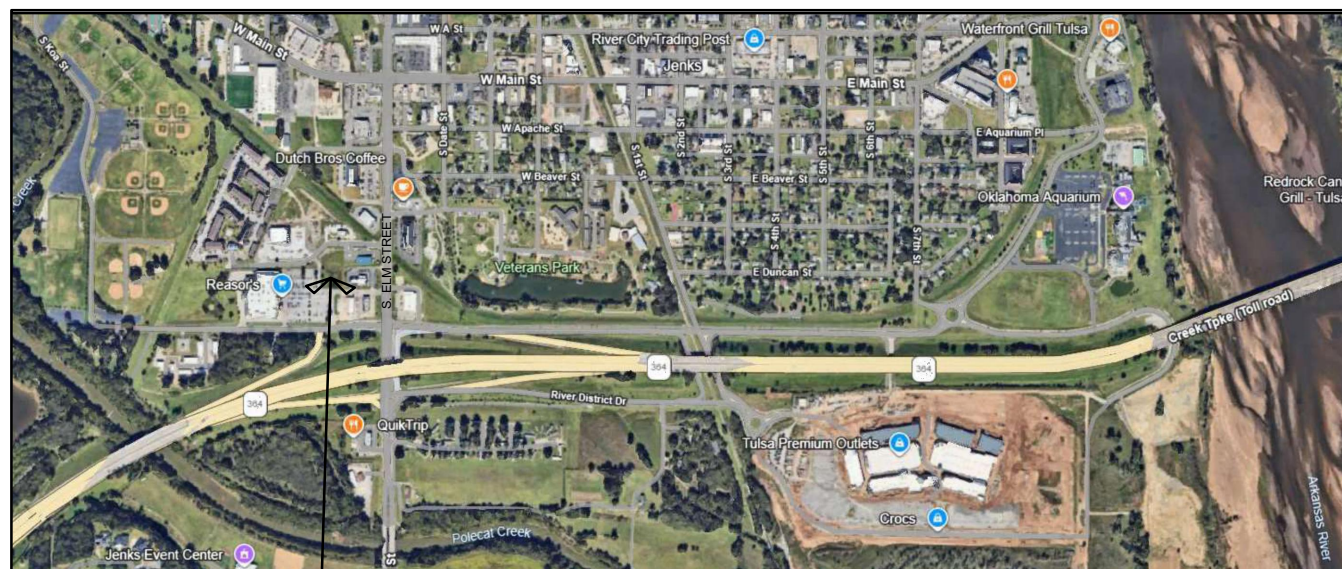
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CODE INFORMATION

APPLICABLE CODES	
2018 IBC	INTERNATIONAL BUILDING CODE
--	--
2018 IBC	INTERNATIONAL PLUMBING CODE
2018 IFGC	INTERNATIONAL FUEL GAS CODE
2018 IMC	INTERNATIONAL MECHANICAL CODE
2017 NEC	NATIONAL ELECTRIC CODE
2018 IECC	INTERNAT'L ENERGY CONSERVATION CODE
2017 ANSI A117.1	
2021 IFC	NFPA LIFE SAFETY CODE
TYPE OF CONSTRUCTION	
TYPE V-B	
MAXIMUM BUILDING HEIGHT	
ALLOWED: 1 STORY	
ACTUAL: 1 STORY	
ALLOWABLE BUILDING AREA	
ALLOWED: 9,000 S.F.	
ACTUAL: 4,975 S.F.	
EXIT WIDTH	
42 x 0.2 = 9" REQ	
36" PROVIDED	
ACTUAL BUILDING AREA	
4,975 S.F.	
EXIT DISTANCE	
ALLOWED: 250 FT.	
ACTUAL MAX: 85 FT.	
OCCUPANCY	
B AND S-1 NON-SEPARATED USES	
OCCUPANT LOAD COUNT	
SALES / WAITING AREA - 639 SF/ 30 OLF = 22 OCCPANTS	
ADMIN / OFFICE - 70 SF / 100 OLF = 1 OCCUPANTS	
INVENTORY - 519 SF / 300 OLF = 2 OCCUPANTS	
SERVICE BAYS - 3,456 SF / 300 = 12 OCCUPANTS	
RESTROOMS - 187 SF = 0 OCCUPANTS	
BREAK ROOM - 115 SF /15 OLF = 8 OCCUPANTS	
TOTAL OCCUPANT LOAD (4980 S.F.) = 45 OCCUPANTS	
FIRE PROTECTION	
BUILDING IS NON SPRINKLED	
ROOFING MATERIALS	
REQUIRED: CLASS "C" (CAN BE CLASS A OR B PER CODE)	
PROVIDED: CLASS "A" ROOF	
ROOF INSULATION REQUIREMENT: MEETS ASTM C 1289	
ROOF INSULATION PROVIDED: MEETS ASTM C 1289	
NUMBER OF EXITS REQUIRED:	
2 REQUIRED.....2 PROVIDED	
FIRE RESISTANCE OF EXTERIOR WALLS:	
NONE REQUIRED... DISTANCE GREATER THAN 30 FEET AND TYPE 5	
CONSTRUCTION HAS NO RQUIREMENTS	
FIRE RESISTANCE OF ELEMENTS	
TYPE 5B CONSTRUCTION HAS NO REQUIREMENTS CONSIDERING SQ. FOOTAGE THIS BLDG.	
OPENING PROTECTION REQUIREMENTS: NONE REQUIRED	
NO REQUIREMENTS - FIRE SEPARATION DISTANCE EXCEEDS 30 FEET	

VICINITY MAP



PROJECT SITE

HAZARDOUS GLAZING REQUIREMENTS:
THESE REQUIREMENTS HAVE BEEN MET...SEE SHEET A5-1 AND A5-2
PARAPET REQUIREMENTS -PARAPETS MEET REQUIREMENTS. THEY EXCEED 30" IN HEIGHT.

SPECIAL INSPECTION REQUIREMENTS -
A QUALIFIED SPECIAL INSPECTION AGENCY HAS BEEN RETAINED TO DO SPECIAL INSPECTIONS PER THIS REQUIREMENT.

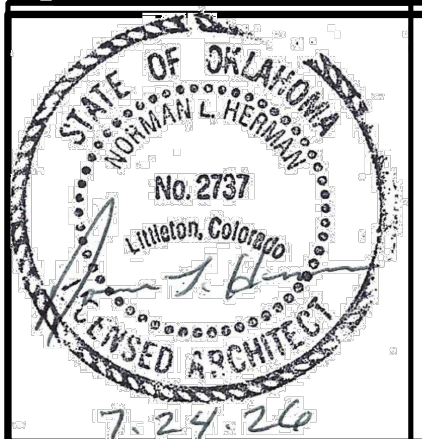
SOILS INFORMATION REQUIREMENTS AS REQUIRED BY CHAPTER 18 HAS BEEN PROVIDED

REQUIRED PLUMBING FIXTURES:
- 2 RESTROOMS REQUIRED AND TWO PROVIDED
- 2 WATER CLOSETS REQUIRED AND TWO PROVIDED
- 2 LAVATORIES REQUIRED AND TWO PROVIDED
- HANDICAP WATER FOUNTAIN REQUIRED AND 1 PROVIDED
- 1 SERVICE SINK REQUIRED AND ONE PROVIDED.

ROOF DRAINAGE REQUIREMENTS REF:20121 IBC 1503 2021 IPC.....ROOF DRAINAGE HAS BEEN PROVIDED PER #1503. SEE SUBMITTAL DWG A2-4 AND PLUMBING DRAWINGS

BRAKES PLUS

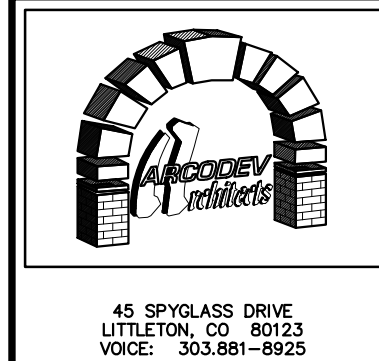
APPROX. WEST 101ST PLACE & SOUTH ELM STREET
JENKS, OKLAHOMA



ARCHITECT OF RECORD

REVISION	DATE	COMMENTS
	06.18.26	SUBMITTED TO BLDG. DEPT.
	07.24.26	ISSUED FOR CONSTRUCTION
2	08.14.26	ADDENDUM 2

ARCODEV JOB #: --
CLIENT/JOB #: --
DRAWN BY: NLH
CHECKED BY: NLH
DATE OF ISSUE: 04.09.26



SHEET

A0

TITLE SHEET